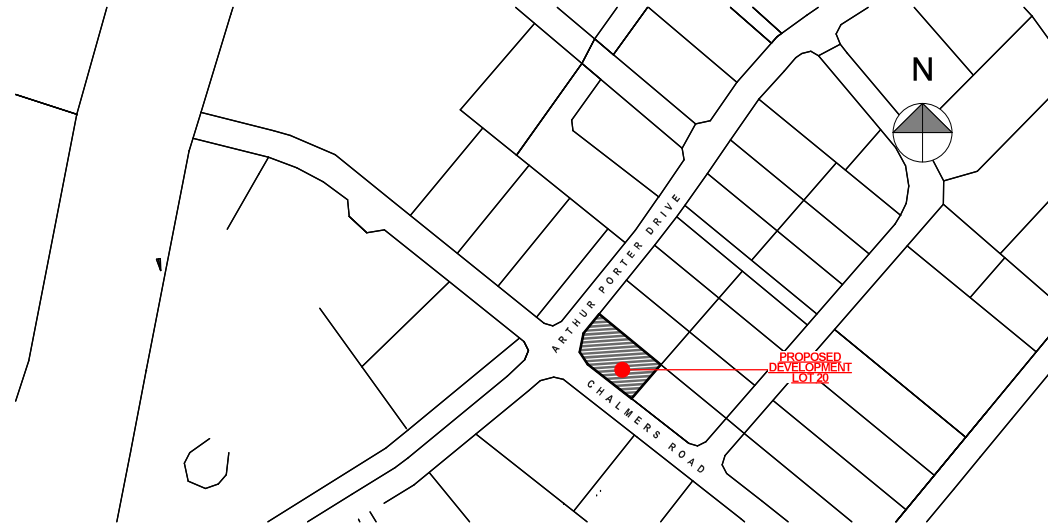




TE RAPA GATEWAY DEVELOPMENT WAREHOUSE & OFFICE BUILDINGS: LOT 20 520 ARTHUR PORTER DRIVE, HAMILTON



LOCALITY PLAN
scale @ A1: n.t.s

rev	date	details

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AUCKLAND 1141

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job no.	CPL0471.00
cad file	CPL0471_10 Te Rapa Lot 20 Final.dwg
design	HK
drawn	JO
checked	
date	1/12/2023
job title	

TE RAPA GATEWAY
WAREHOUSE &
OFFICE
DEVELOPMENT
LOT 20

520 ARTHUR PORTER
DRIVE

dwg title
Index & Locality Plan

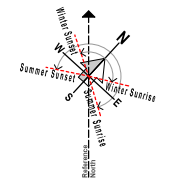
status

scale
AS SHOWN @ A1

rev	dwg No

A000





EXPOSURE ZONE B
 WIND ZONE: High
 EARTHQUAKE ZONE: 1
 ARTHUR PORTER DRIVE
 NORTHGATE
 HAMILTON 3200
 LOTS 19 & 20
 DP 502753

SITE COVERAGE

LOT 20		
SITE AREA:	2,562m ²	
PERMEABLE AREA:	686m ²	27%
(20% of entire site = 512m ²)		
BUILDING COVERAGE:	1,364m ²	48%

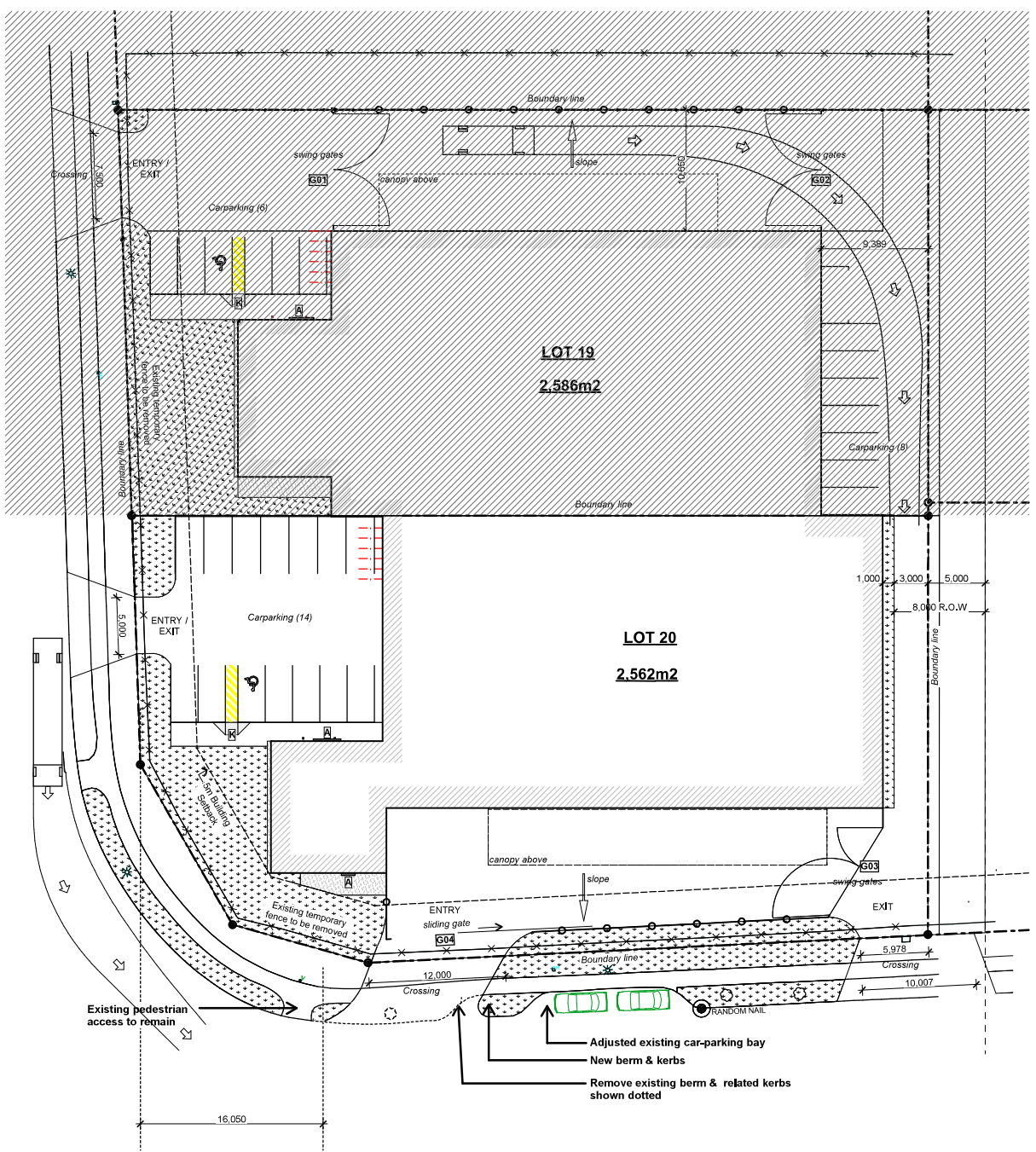
PARKING REQUIREMENTS

CPD PARKING REQUIREMENTS:

WAREHOUSE	1 per 150m ²
OFFICE	1 per 40m ²
ACCESSIBLE	1 for up to 20 carparks
CYCLE RACKS	1 per 10 staff

LOT 20
 Warehouse 1,112m²
 Office 232m²
 Canopy 149m²

TOTAL CARPARKS REQUIRED 14
 TOTAL CARPARKS ACHIEVED 14



- LEGEND**
- Yard pavement: 175mm concrete on hardfill refer to Civil Engineer's drawings for specification
 - Carpark pavement: 35mm MX asphalt concrete on hardfill: refer to Civil Engineer's drawings for specification
 - Carpark pavement: 25mm MX asphalt concrete on hardfill: refer to Civil Engineer's drawings for specification
 - Footpath/Hardstand pavement: 20mm MX 14 asphalt concrete on hardfill: refer to Civil Engineer's drawings for specification
 - Grassed Area: topsoil and grass seeding
 - Property boundary
 - Double-chain wire fencing; black powder coated fence posts and 3 rows of barbed wire above; refer A103 for detail
 - Existing temporary fence to be removed
 - Yard gate/door; refer A103 for detail
 - ACO threshold drain with Galv Steel Longitudinal Grate (located at entry)
 - Kerb ramp to comply with NZBC D1; refer Civil drawings for detail

rev	date	details

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 CHALMERS PROPERTIES
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job no.	CPLO471.00
cad file	CPLO471_10 Te Rapa Lot 20 Final.dwg
design	HK
drawn	JO
checked	
date	1/12/2023
job title	

TE RAPA GATEWAY
 WAREHOUSE &
 OFFICE
 DEVELOPMENT
 LOT 20

520 ARTHUR PORTER DRIVE

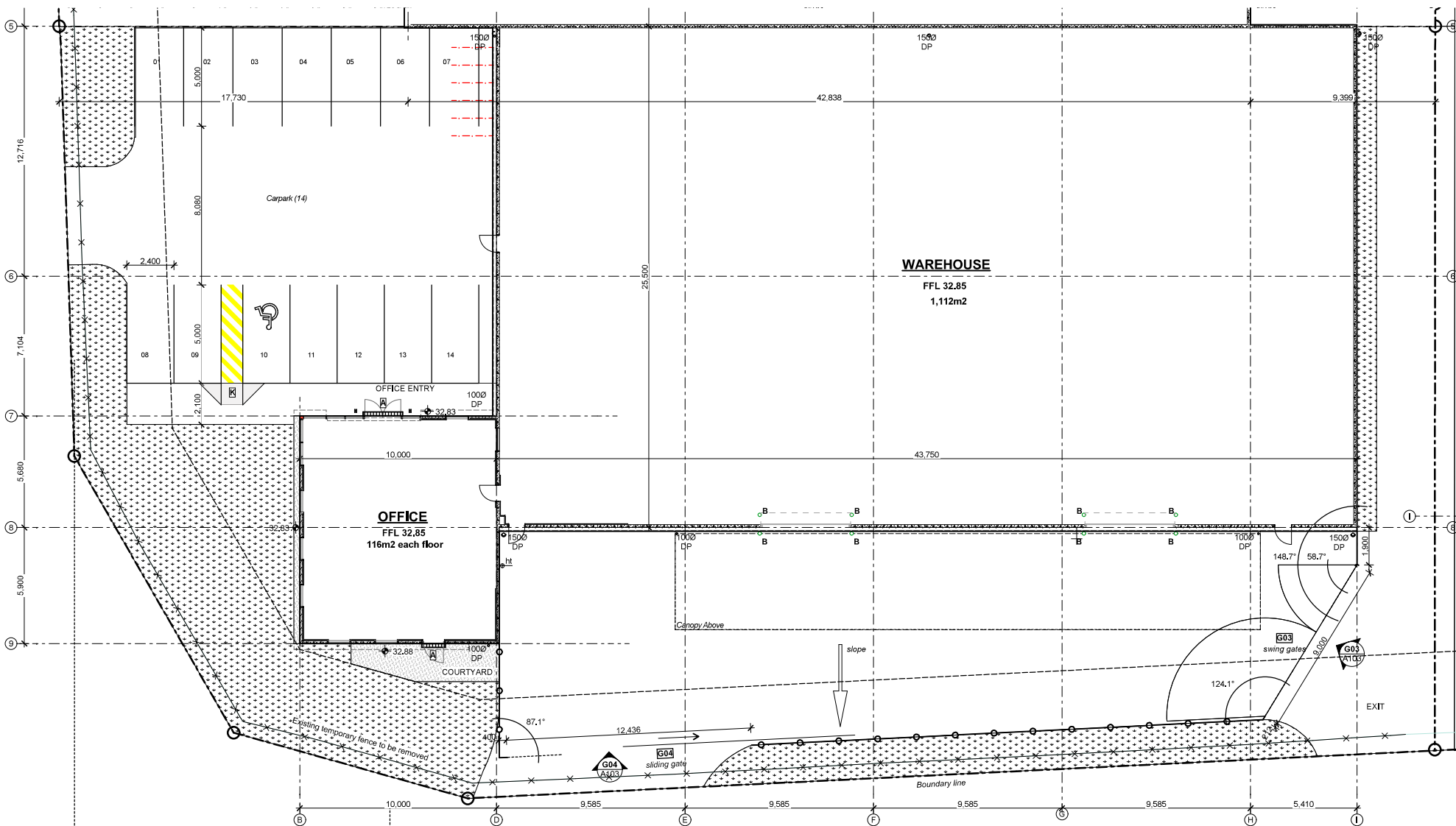
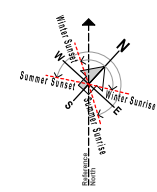
Overall Site Plan

status

scale AS SHOWN @ A1

rev | dwg No

SITE PLAN
 Scale 1:200



SITE PLAN LOT 20
Scale: 1:100

LEGEND

- Yard pavement: 175mm concrete on hardfill refer to Civil Engineer's drawings for specification
- Carpark pavement: 35mm MIX asphalt concrete on hardfill; refer to Civil Engineer's drawings for specification
- Carpark pavement: 25mm MIX asphalt concrete on hardfill; refer to Civil Engineer's drawings for specification
- Footpath/Hardstand pavement: 20mm MIX 14 asphalt concrete on hardfill; refer to Civil Engineer's drawings for specification
- Grassed Area: topsoil and grass seeding
- Property boundary
- Double-chain wire fencing; black powder coated fence posts and 3 rows of barbed wire
- Yard gate/door; refer A103 for detail
- ACO threshold drain with Galv Steel Longitudinal Grate (located at entry)
- Kerb ramp to comply with NZBC D1; refer Civil drawings for detail
- Bollard; refer to A103 for details
- uPVC Downpipe
- Hose Tap

rev	date	details

eclipse) architecture
CHALMERS PROPERTIES
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job no.	CPL0471_00
lead file	CPL0471_10 Te Rapa Lot 20 Final.dwg
design	HK
drawn	JO
checked	
date	1/12/2023
job title	

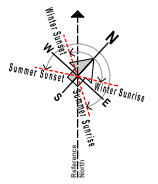
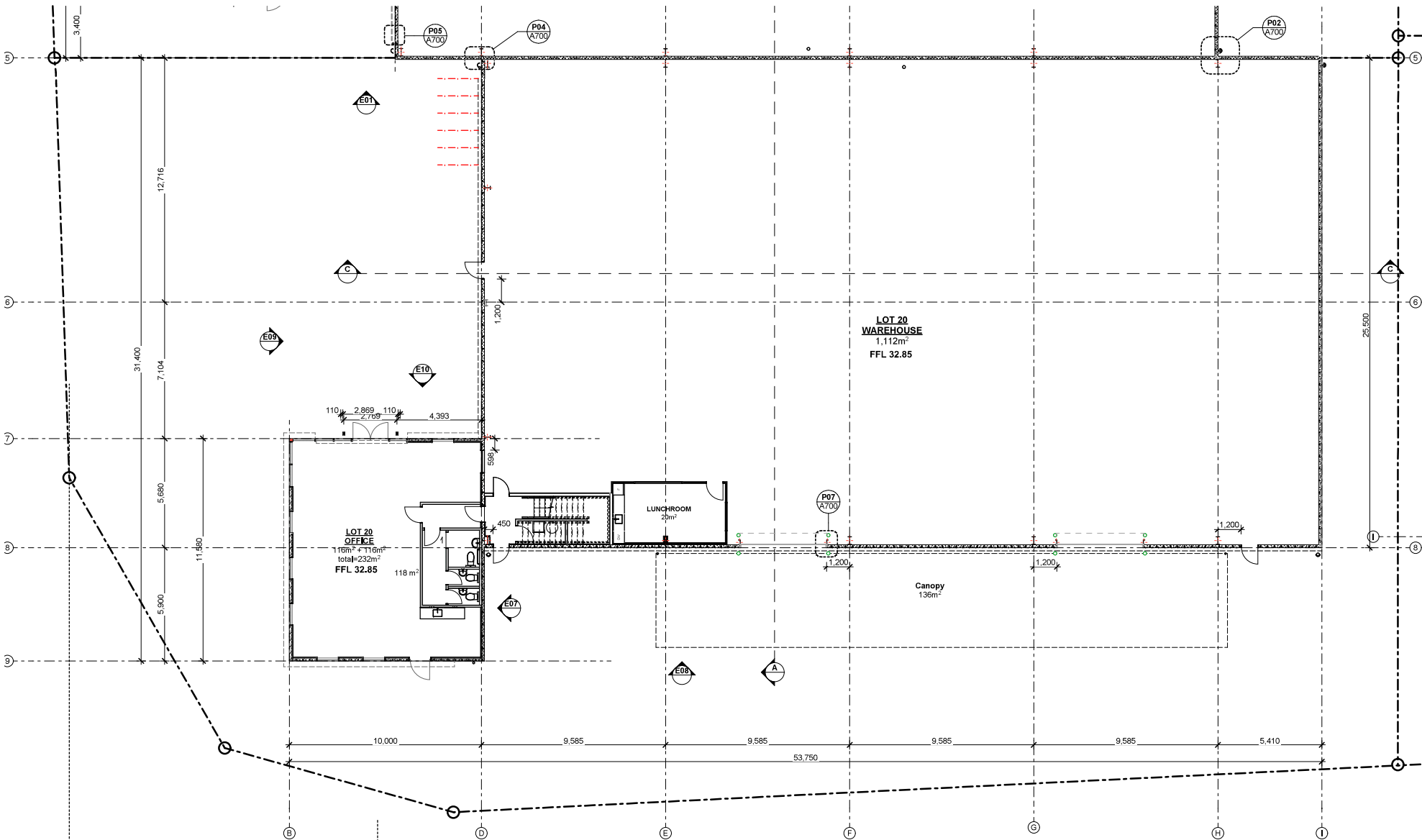
**TE RAPA GATEWAY
 WAREHOUSE &
 OFFICE
 DEVELOPMENT
 LOT 20**
 520 ARTHUR PORTER
 DRIVE

dwg title: Site Plan Lot 20
 status:

scale: AS SHOWN @ A1

rev	dwg No





rev	date	details

eclipse) architecture
 CHALMERS PROPERTIES
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job no.	CPL0471.00
cad file	CPL0471_10 Te Rapa Lot 20 Floorplan
design	HK
drawn	JO
checked	
date	1/12/2023

TE RAPA GATEWAY
 WAREHOUSE &
 OFFICE
 DEVELOPMENT
 LOT 20
 520 ARTHUR PORTER
 DRIVE

dwg title
 Floor Plan: Warehouse
 Lot 20
 status

scale
 AS SHOWN @ A1

rev | dwg No



WAREHOUSE FLOOR PLAN
 Scale 1:100

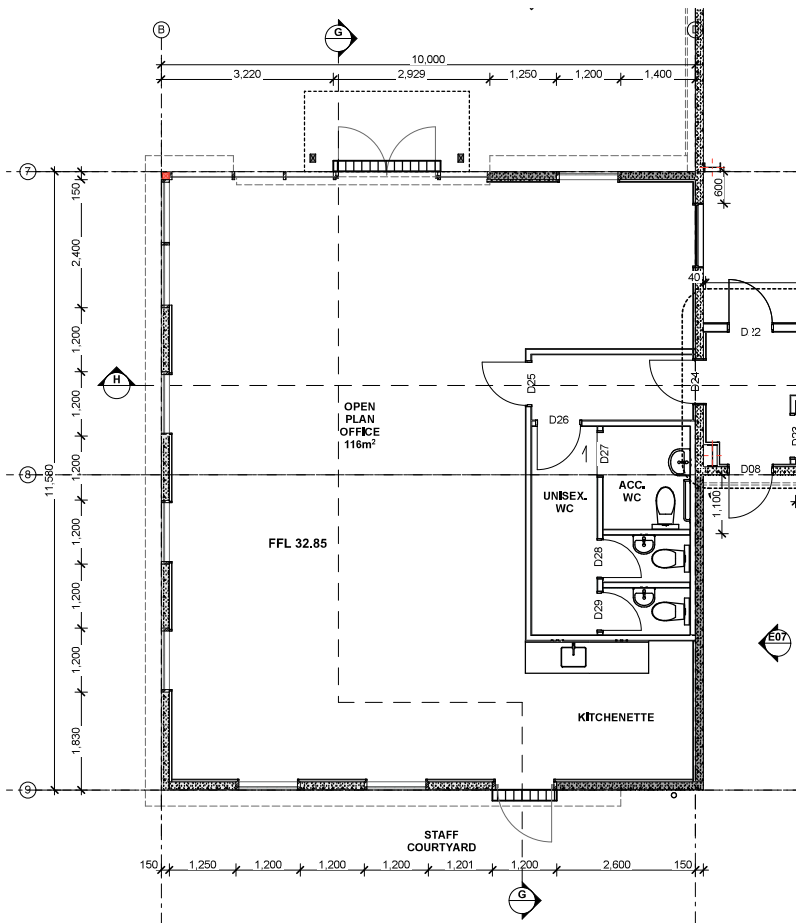
NOTE:

Office Thermal Insulation:

- Roof: R2.5 Retrofit ceiling insulation (150mm thick to fit within DHS girts) with 20mm thermax cavity (we need to install thermax above all purlins in office)
- All precast walls: 45mm thick R1.4 Expol polystyrene insulation
- All timber walls: Pink Batt R 3.2 wall insulation 140mm thick
- HWC insulation wrap to all HWCs

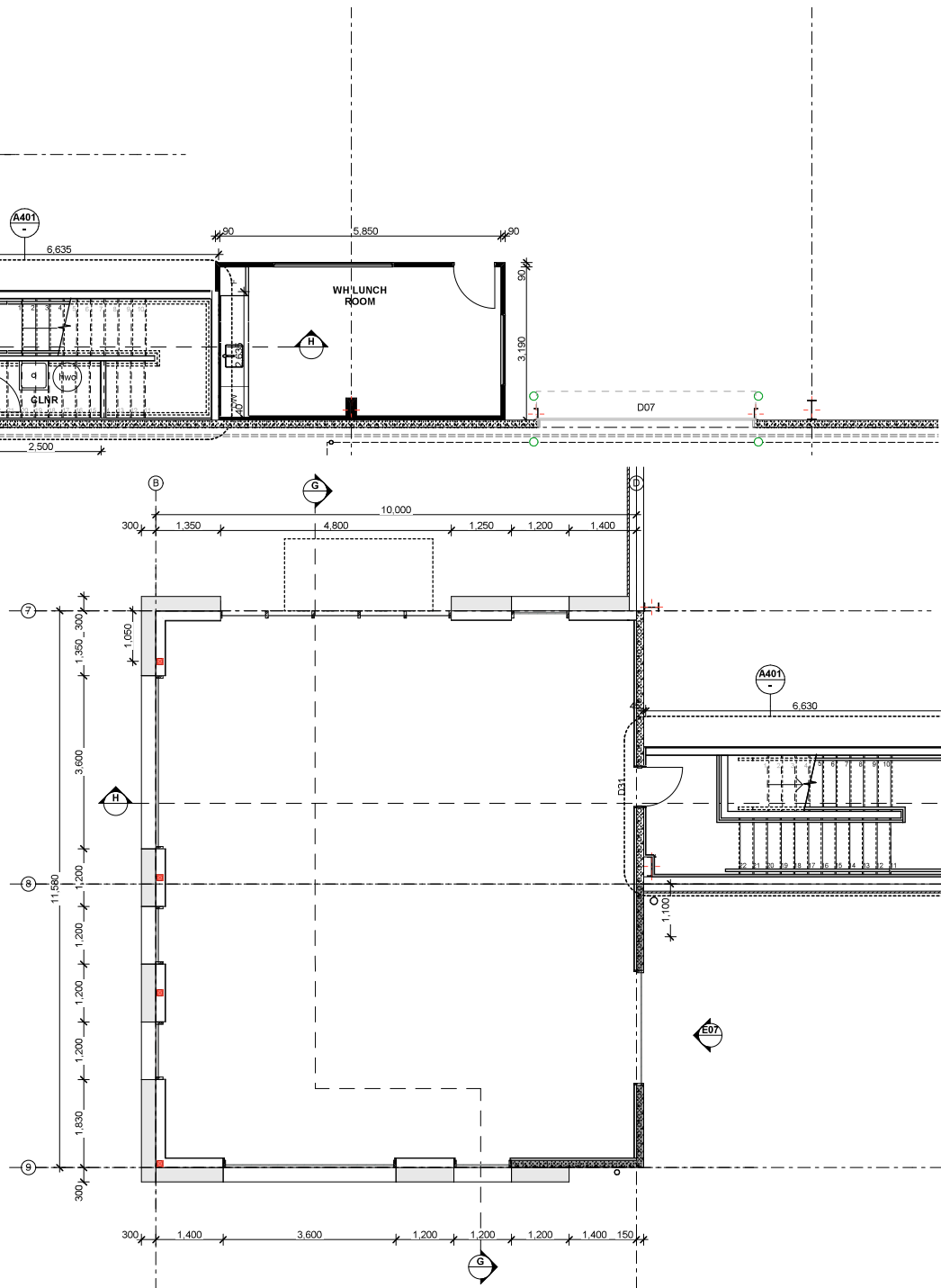
Office Acoustic Insulation:

- Interior timber framed walls to WC area: Pink Batts Silencer full height of framing



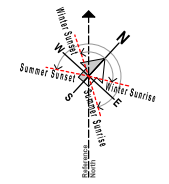
OFFICE GROUND FLOOR PLAN

Scale 1:50



OFFICE FIRST FLOOR PLAN

Scale 1:50



NOTE:
 -Timber Framing: H1,2 SG8 Radiata Pine unless stated/detailed otherwise, Typically all office interior timber walls to be 90x45mm @ 600ctrs
 -Concrete Nib: 150mm high concrete nib on office ground floor. Refer Engineers drawings for details.
 -Acoustic Insulation: Acoustic batt insulation to Toilet Facility internal partition walls.
 -Thermal Insulation: R1,2 min, batt insulation to all external partition walls and to strapping on precast concrete walls, R1,5 min, insulation to ceiling.
 -Mechanical + Switch Positions: All thermostats to be located adjacent to light switches. All final switch locations to be confirmed on site with Architect.

rev	date	details

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job no.	CPL0471,00
cad file	CPL0471_10 Te Rapa Lot 20 Floor 01.rvt
design	HK
drawn	JO
checked	
date	1/12/2023
job title	

TE RAPA GATEWAY
 WAREHOUSE &
 OFFICE
 DEVELOPMENT
 LOT 20

520 ARTHUR PORTER
 DRIVE

dwg title:
 Floor Plans: Office Lot 20

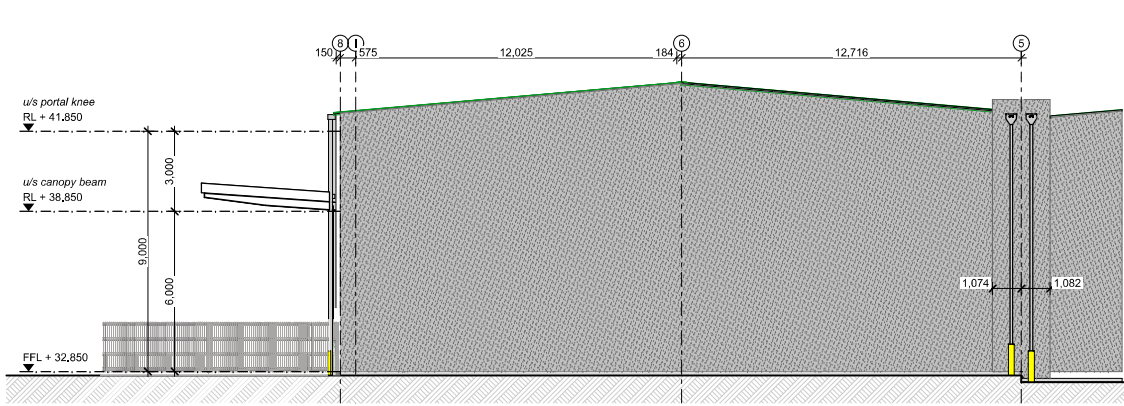
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scale:
 AS SHOWN @ A1

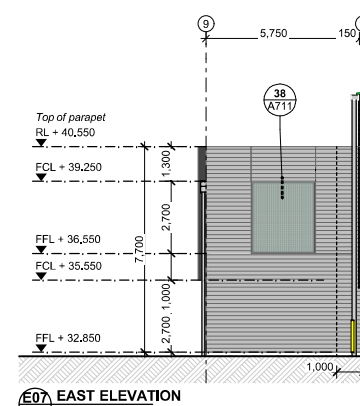
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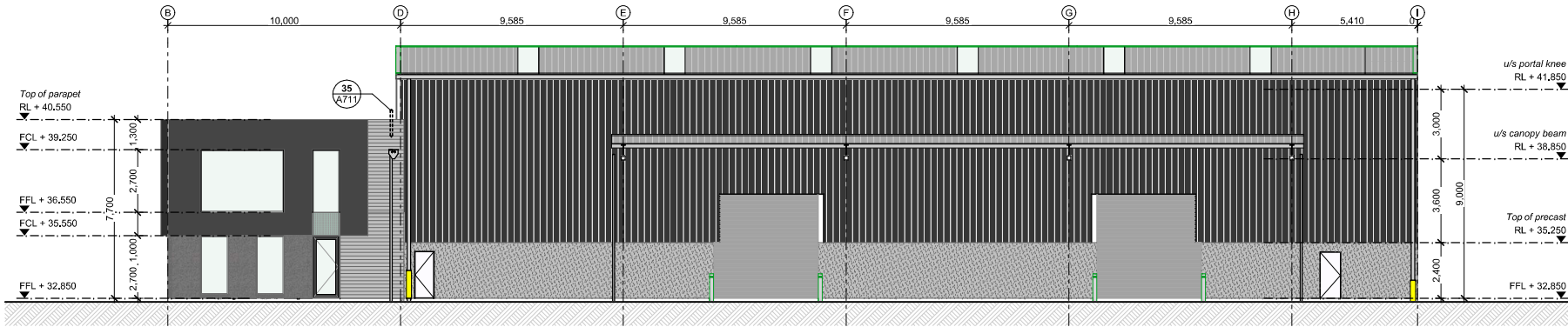
A203



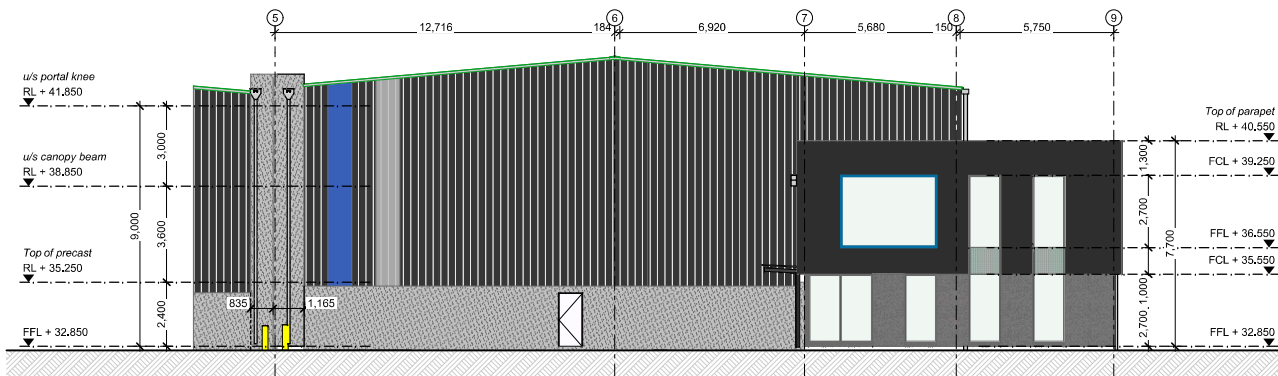
E06 EAST ELEVATION
A201 Scale: 1:100



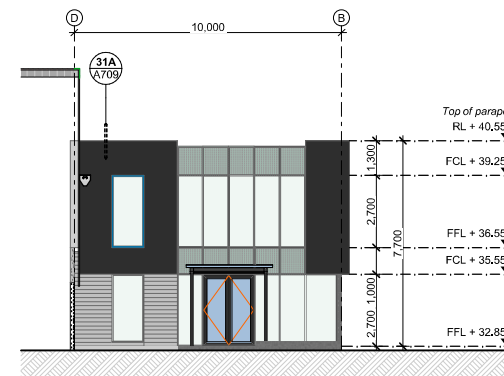
E07 EAST ELEVATION
A201 Scale: 1:100



E08 SOUTH ELEVATION
A201 Scale: 1:100



E09 WEST ELEVATION
A201 Scale: 1:100



E10 NORTH ELEVATION
A201 Scale: 1:100

rev	date	details

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job no.	CPL047100
cad file	CPL04710 Te Rapa Lot 20 Final.dwg
design	HK
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checked	
date	11/2/2023
job title	

TE RAPA GATEWAY
WAREHOUSE &
OFFICE
DEVELOPMENT
LOT 20

520 ARTHUR PORTER
DRIVE

dwg title

Elevations

status

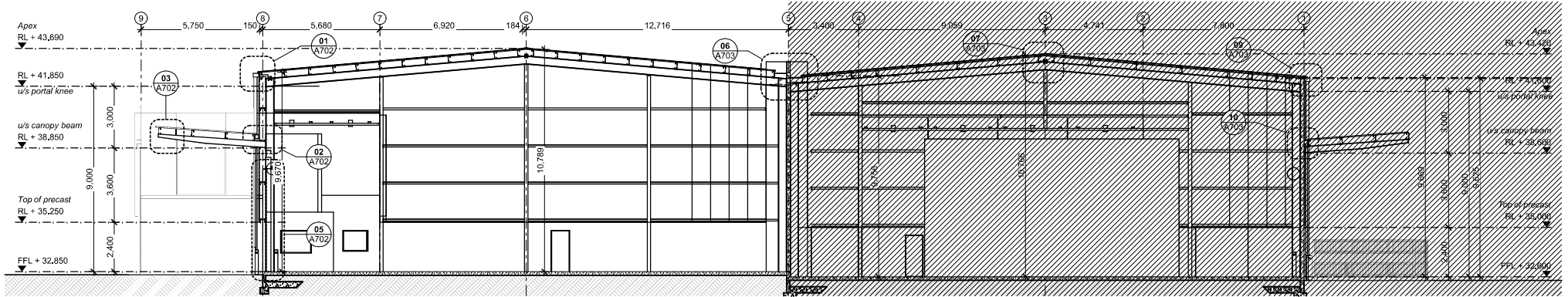
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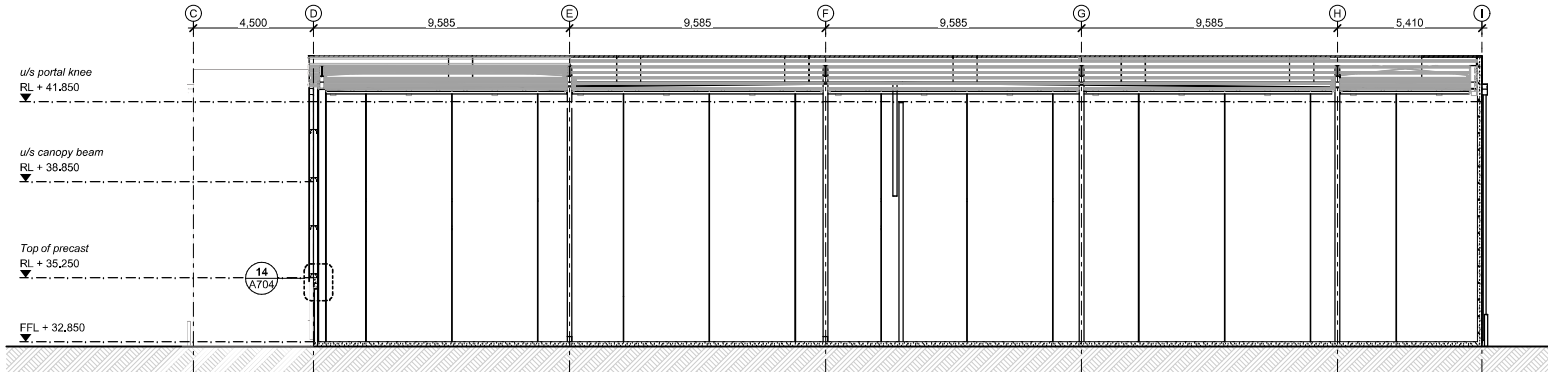
rev

dwg No

A301



2 A WAREHOUSE SECTION AA
Scale: 1:100



3 C WAREHOUSE SECTION CC
Scale: 1:100

rev	date	details

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job no.	CPL047100
cad file	CPL04710 Te Rapa Lot 20 FRS.dwg
design	HK
drawn	JO
checked	
date	1/12/2023
job title	

TE RAPA GATEWAY
WAREHOUSE &
OFFICE
DEVELOPMENT
LOT 20

520 ARTHUR PORTER
DRIVE

dwg title

Sections: Warehouse

status

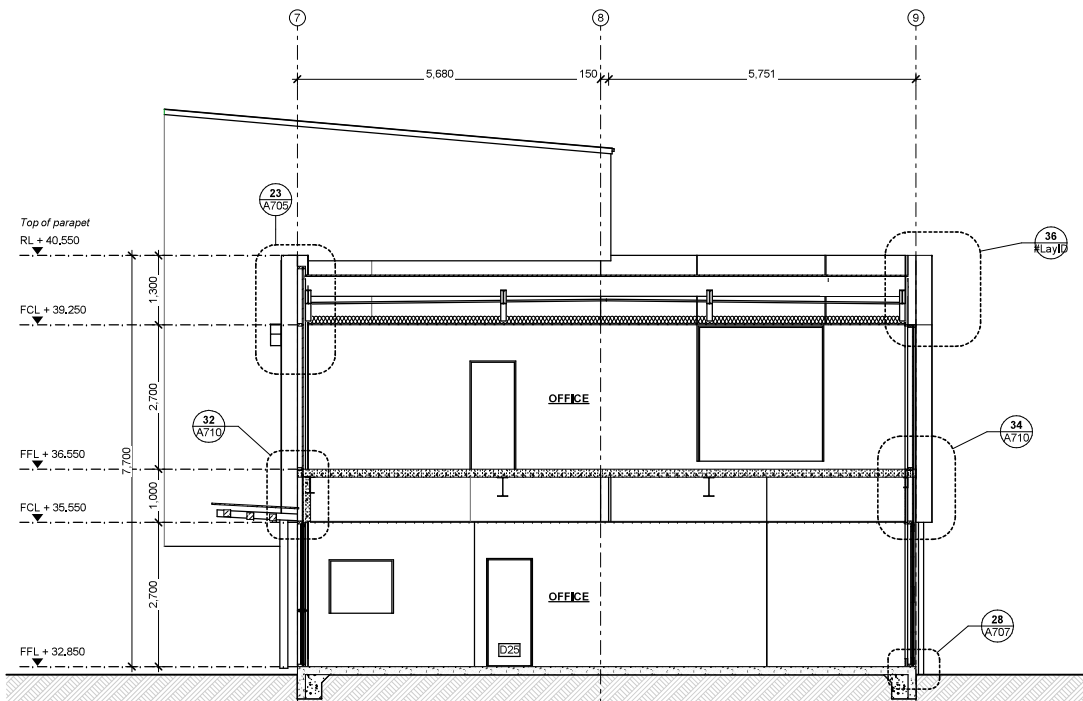
scale

AS SHOWN @ A1

rev

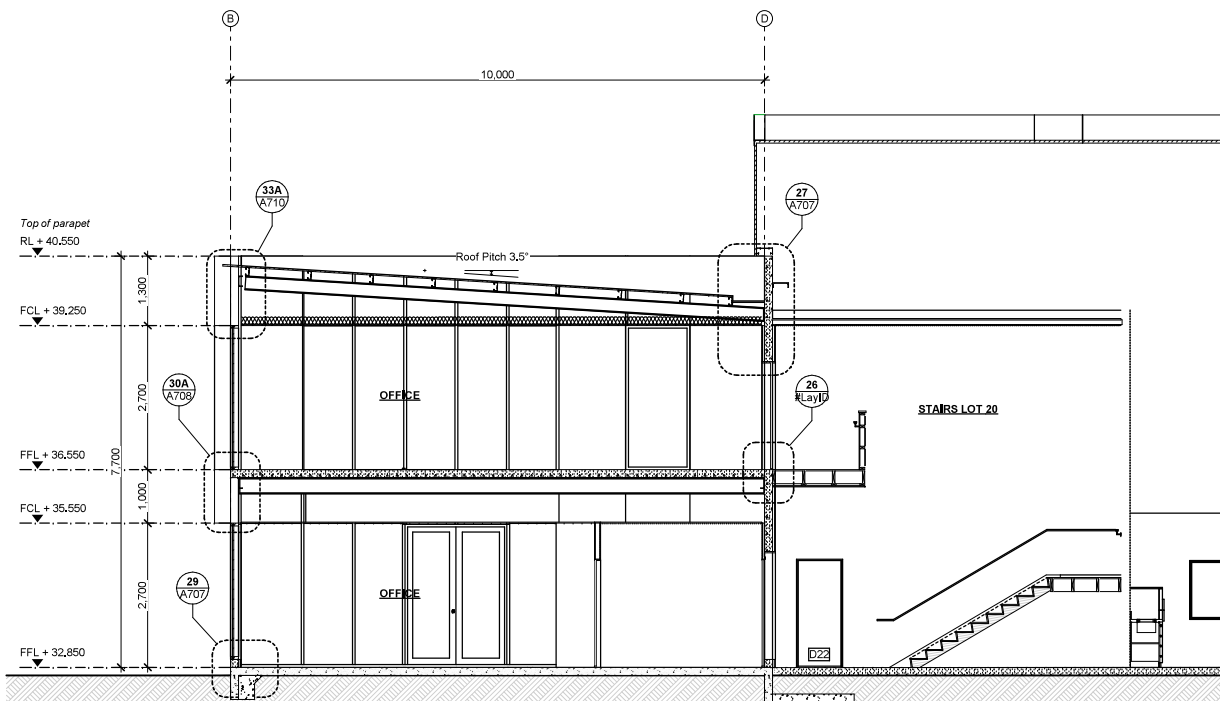
dwg No

A302



6 G OFFICE SECTION GG LOT 20

Scale: 1:50



7 H OFFICE SECTION HH LOT 20

Scale: 1:50

rev	date	detail#

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job no.	CPL0471_00
cad file	CPL0471_10 Te Rapa Lot 20 Floor 2.dwg
design	HK
drawn	JO
checked	
date	1/12/2023
job title	

TE RAPA GATEWAY
WAREHOUSE &
OFFICE
DEVELOPMENT
LOT 20

520 ARTHUR PORTER
DRIVE

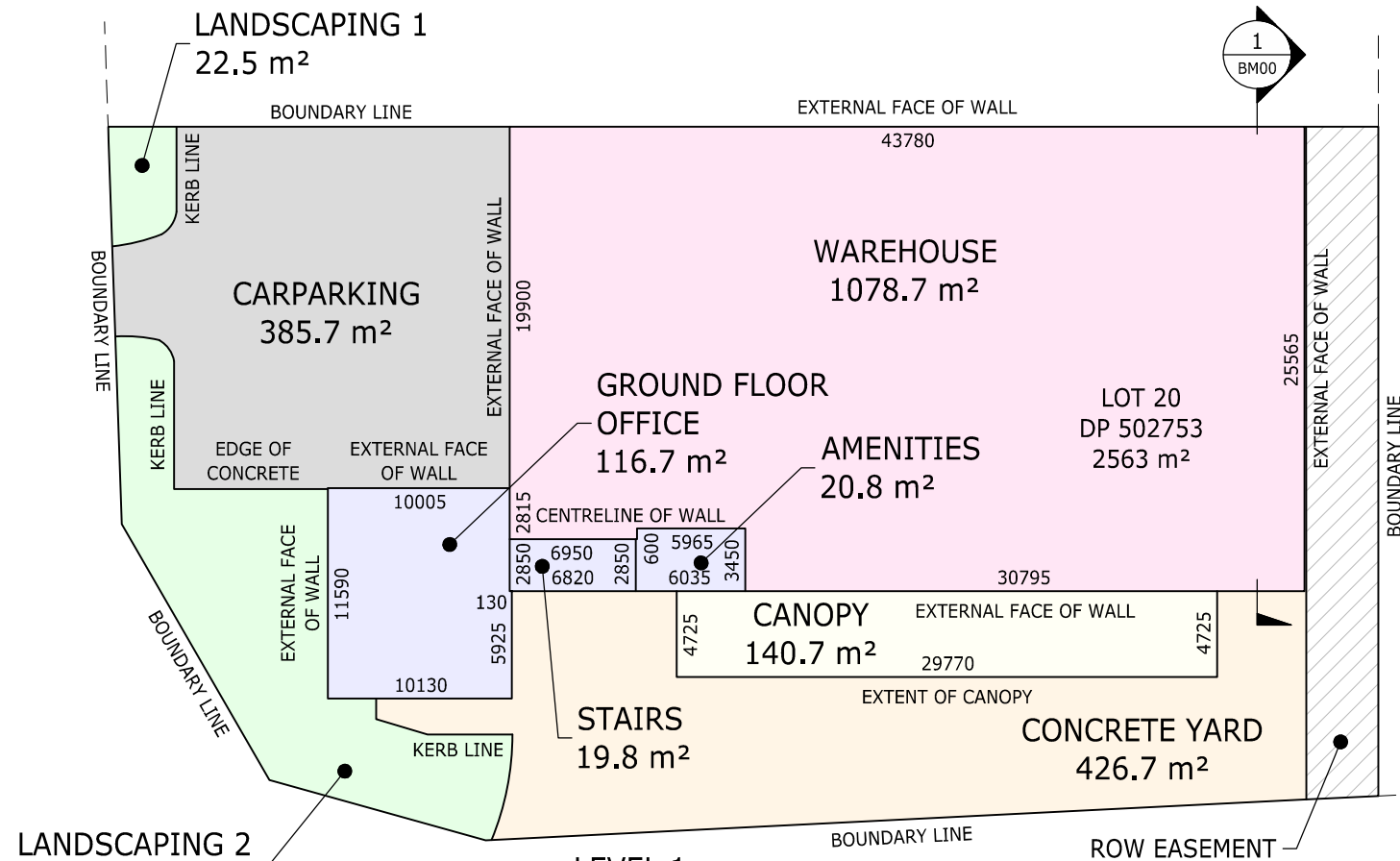
Sections: Office Lot 20

status

scale AS SHOWN @ A1

rev	dwg No

A304



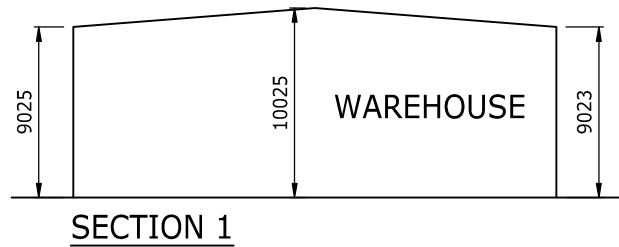
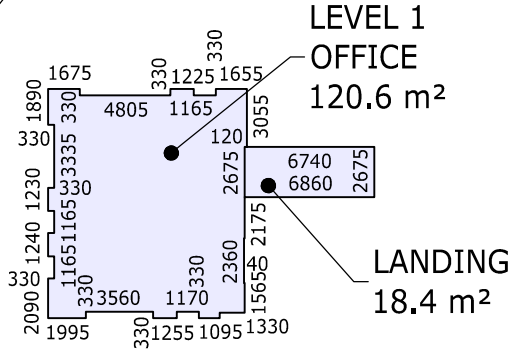
AREA SCHEDULE

WAREHOUSE	1078.7 m ²	11611.0 ft ²
AMENITIES	20.8 m ²	223.9 ft ²
STAIRS	19.8 m ²	213.1 ft ²
GROUND FLOOR OFFICE	116.7 m ²	1256.1 ft ²
CANOPY	140.7 m ²	1514.5 ft ²
CARPARKING	385.7 m ²	4151.6 ft ²
CONCRETE YARD	426.7 m ²	4593.0 ft ²
LANDSCAPING 1	22.5 m ²	242.2 ft ²
LANDSCAPING 2	204.5 m ²	2201.2 ft ²
TOTAL GROUND LEASE AREA	2416.1 m²	26006.6 ft²
LEVEL 1 OFFICE	120.6 m ²	1298.1 ft ²
LANDING	18.4 m ²	198.1 ft ²
TOTAL LEASE AREA	2555.1 m²	27502.8 ft²

SURVEY CARRIED OUT IN ACCORDANCE WITH THE PCNZ/PINZ (FORMERLY BOMA) RECOMMENDED GUIDELINES FOR MEASUREMENT OF INDUSTRIAL TYPE PREMISES (METHOD 4 OF THE 2023 REVISION),

FOR THE RENTABLE AREAS MEASUREMENTS HAVE BEEN TAKEN TO THE EXTERNAL FACE OF WALLS AND GLASS, THE CENTRELINE OF PARTITION WALLS WHERE THEY ABUT OTHER RENTABLE AREAS AND TO THE EXTENT OF CANOPY,

FOR LEVEL 1 MEASUREMENTS HAVE BEEN TAKEN TO THE EXTERNAL FACE OF WALLS AND GLASS AND TO THE CENTRELINE OF PARTITION WALLS.

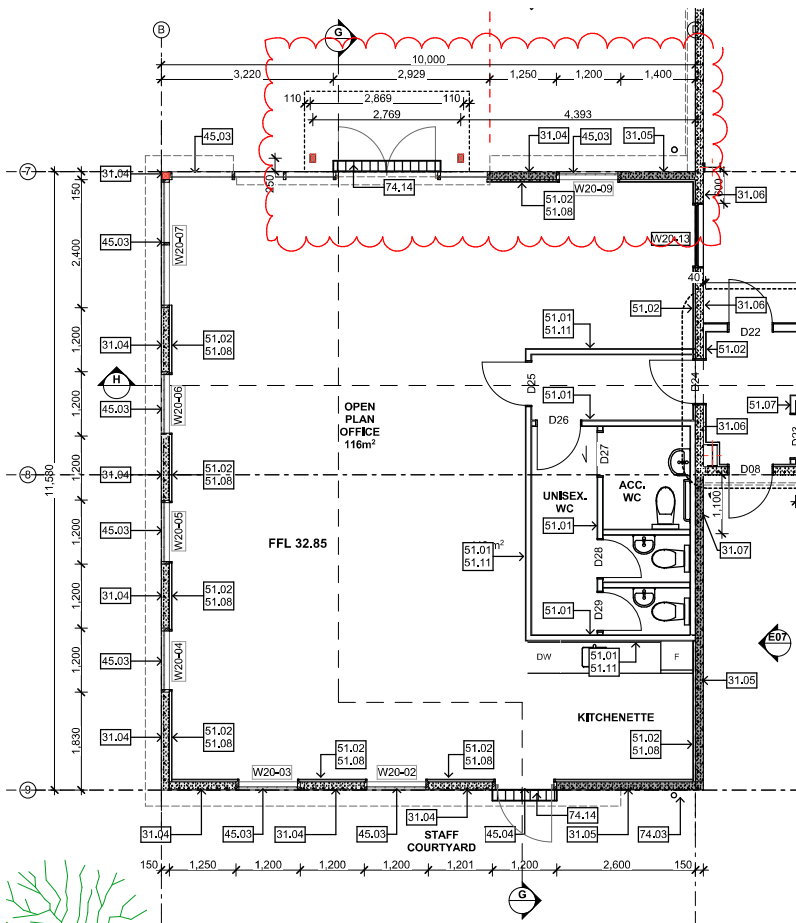


I, MARK SAMUEL BOWDEN, SURVEYOR
 HEREBY CERTIFY THAT A SURVEY TO DETERMINE THE RENTABLE AREAS HAS BEEN CARRIED OUT UNDER MY DIRECTION AND THAT THE AREAS AND MEASUREMENTS ARE CORRECT.

19.06.2023

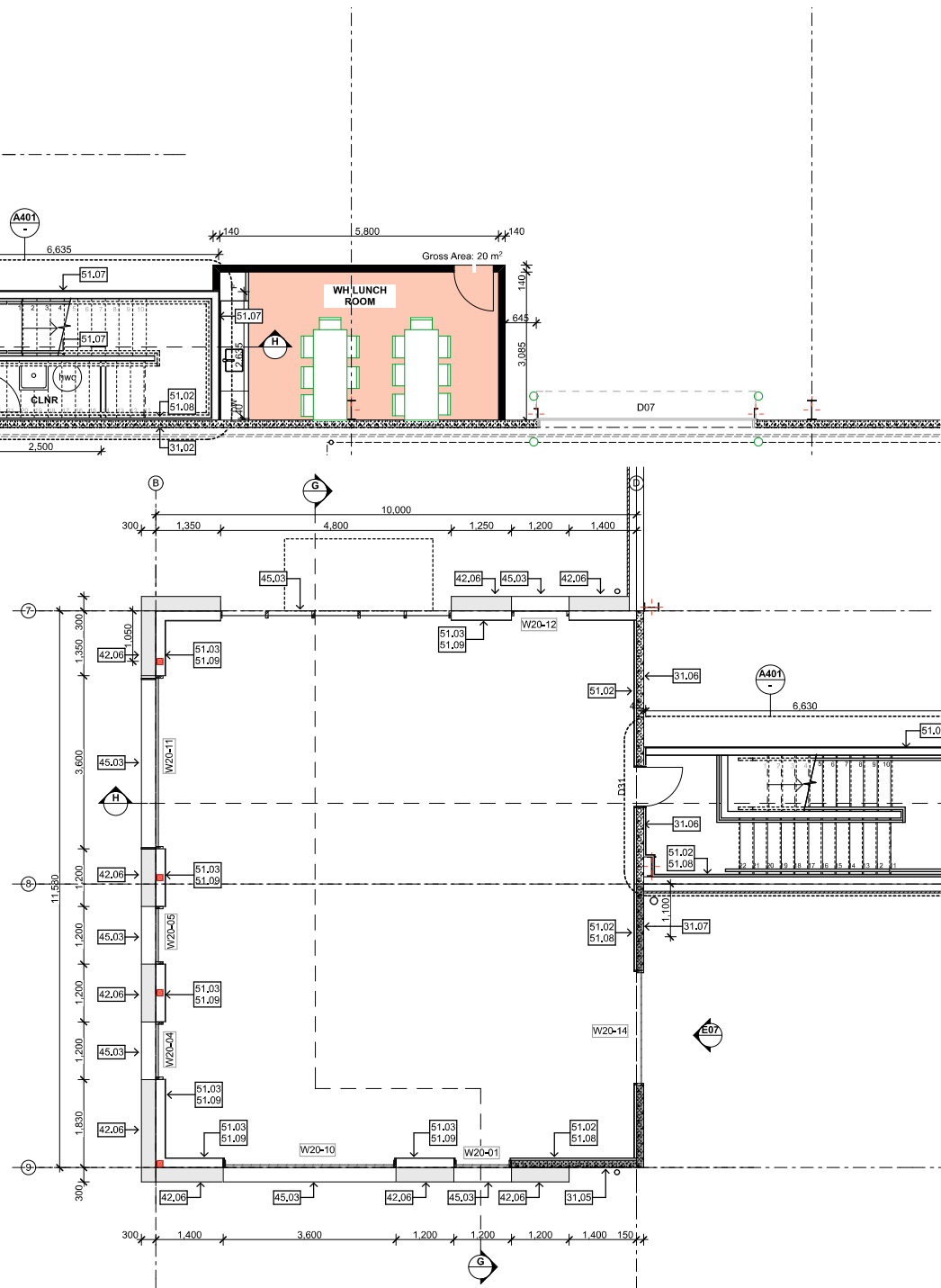
PLAN SHOWING RENTABLE AREAS AT GROUND FLOOR AND LEVEL 1

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DRAWN: DXH	DATE: 14.06.23	SIGNED:																									
CHECKED: JBM	DATE: 19.06.23	SIGNED:																									
APPROVED: JBM	DATE: 19.06.23	SIGNED:																									
PLOT BY: DXH	DATE: 19.06.23																										
SURVEY BY: JBM	DATE: 06.2023																										
PROJECT No: A2314043.00	SCALE: 1:250 - A2																										
DRAWING No: 2314043-HG-XX-DR-XX-G-BM00	REV B																										



OFFICE GROUND FLOOR PLAN

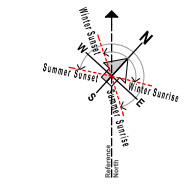
Notes	
3	STRUCTURE
31.02	150mm Precast Concrete Wall Panel (Natural Finish) 150mm thick precast concrete wall panel; Natural finish; Refer Engineer's drawings for details.
31.04	150mm Precast Concrete Wall Panel (Exposed aggregate Finish) 150mm thick precast concrete wall panel; Exposed aggregate finish; Refer Engineer's drawings for details.
31.05	150mm Precast Concrete Wall Panel (Concrete bandsawn panels) 150mm thick precast concrete wall panel; Shutter finish (use 150mm wide x 25mm thick oregon pine boards) to exterior face; Refer Engineer's drawings for details.
31.06	150mm Precast Concrete 60/60/60 FRR Wall Panel (Natural Finish) 150mm thick 60 min Fire rated precast concrete wall panel; Natural finish; Refer Engineer's drawings for details.
31.07	150mm Precast Concrete 60/60/60 FRR Wall Panel (Concrete bandsawn panels) 150mm thick 60 min Fire rated precast concrete wall panel; Shutter finish (use 150mm wide x 25mm thick oregon pine boards) to exterior face; Refer Engineer's drawings for details.
4	ENCLOSURE
42.06	Office Wall: Profiled Metal Cladding 0,55mm BMT Colorcoat ZinaCore Calder Stewart Euro-Tray Double Standing Seam cladding; Colour: Ironsand
45.03	Shopfront glazing Powdercoated 125mm Front Glazed Firvie Suite aluminium limited double glazed joinery; Colour: to match colorcoat Ironsand
45.04	Aluminium joinery 125mm Front Glazed Fairview suite with commercial doors;
5	INTERIOR
51.01	10mm GB Standard 10mm GIB Standard on 90x45mm timber framing; Level 4 stopped & sealed, paint finish
51.02	10mm GB Standard 10mm GIB Standard on 90x45mm timber strapping on DPC on precast concrete wall; Level 4 stopped & sealed, paint finish.
51.03	10mm GB Standard 10mm GIB Standard on 90x45mm timber strapping on 140x45mm timber framing; Level 4 stopped & sealed, paint finish
51.07	GBTL 60 fire rated system (60/60/60) 13mm GIB Fyrdline to each side of the frame on 90x45mm timber framing; Level 4 stopped & sealed, paint finish
51.08	R1.4 wall insulation with timber strapping on PC conc wall 40mm thick R1.48 Expol-x polystyrene insulation with timber strapping on PC conc wall
51.09	R3.2 wall insulation on timber framing 140mm thick batt R3.2 on timber framing
51.11	Pink Batts Silencer Pink Batts Silencer wall acoustic insulation
7	SERVICES
74.03	Office DPs: 100 uPVC Downpipes 100 dia. uPVC downpipes with DP protectors; paint finish; Refer A103 for typical DP & protector layouts
74.14	Channel Drain ACO threshold drain with Galv Steel Longitudinal Grate (located at entry)



OFFICE FIRST FLOOR PLAN

NOTE:

- Timber Framing:** H1,2 SG8 Radiata Pine unless stated/detailed otherwise. Typically all office interior timber walls to be 90x45mm @ 600c/s
- Concrete Nib:** 150mm high concrete nib on office ground floor. Refer Engineer's drawings for details.
- Acoustic Insulation:** Acoustic batt insulation to Toilet Facility internal partition walls.
- Thermal Insulation:** R1,5 min. batt insulation to all external partition walls and to strapping on precast concrete walls. R1,5 min. insulation to ceiling.
- Mechanical + Switch Positions:** All thermostats to be located adjacent to light switches. All final switch locations to be confirmed on site with Architect.



rev	date	details

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job no.	CPL0471.00
cad file	CPL0471.00 (e-rapa Gateway) - Construction.dwg
design	HK
drawn	JO
checked	
date	16/05/2018
job title	

**TE RAPA GATEWAY
 WAREHOUSE &
 OFFICE
 DEVELOPMENT
 LOT 19 & 20**

**HAMILTON JV
 INDUSTRIAL PARK**

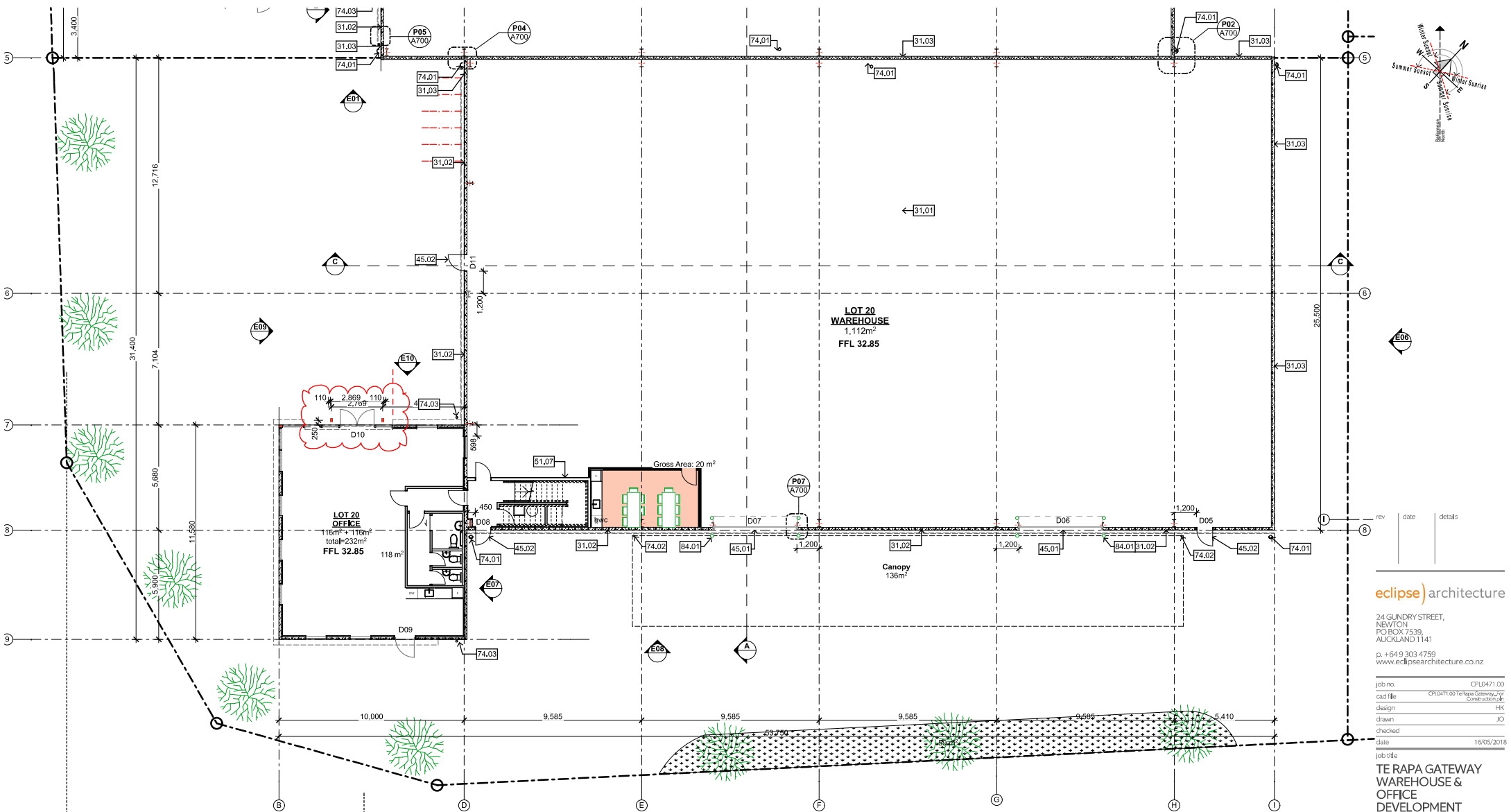
dwg title
**Floor Plans: Office
 Lot 20**

status
 BUILDING CONSENT

scale
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rev	dwg No



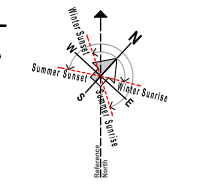


WAREHOUSE FLOOR PLAN
Scale: 1:100

Notes	31.03	165mm Precast Concrete 240/240/240 FRR Wall Panel (Natural Finish) 165mm thick; 240 min Fire rated precast concrete wall panel; Natural finish; Refer Engineer's drawings for details.	balanced, standard guide to jambs & birdproofing to door head; Colour to match Colocrete Ironsand	7	SERVICES	each side of the frame on 90x45mm timber framing; Level 4 stopped & sealed, paint finish	74.03	Office DPs: 100 uPVC Downpipes 100 dia, uPVC downpipes with DP protectors; paint finish; Refer A103 for typical DP & protector layouts	downpipes with DP protectors; paint finish; Refer A103 for typical DP & protector layouts	Painted yellow. Fixed to concrete slab at exposed corners of building, roller doors (int & ext) and at services.	
31.01	Concrete Slab Concrete floor slab on DPC on sand binding on metal; Refer Engineer's drawings for details.	45.02	Exterior Doors Solid panel security door, powdercoated aluminium faced timber; Refer Door Hardware Schedule for details; Colour to match Colocrete Ironsand	74.01	Warehouse DPs: 150 uPVC Downpipes 150 dia, uPVC downpipes with DP protectors; paint finish; Refer A103 for typical DP & protector layouts	74.02	Warehouse Canopy DPs: 100 uPVC Downpipes 100 dia, uPVC	8	EXTERNAL	84.01	Bollards 150mm NB dia. x 1200mm high concrete filled galv steel bollards
31.02	150mm Precast Concrete Wall Panel (Natural Finish) 150mm thick precast concrete wall panel; Natural finish; Refer Engineer's drawings for details.	4	ENCLOSURE	5	INTERIOR	51.07	GBTL 60 fire rated system (60/60/60) 13mm GIB Fyrelite to	8	EXTERNAL		
		45.01	Roller Door New Metabuilt roller door; 0,75mm powdercoat finish; Automatic operation, spring	5	INTERIOR			8	EXTERNAL		

NOTE:

- Office Thermal Insulation:**
 - Roof: R2.9 Retrofit ceiling insulation (150mm thick to fit within DHS girts) with 20mm thermax cavity (we need to install thermax above all purfins in office)
 - All precast walls: 45mm thick R1.4 Expol polystyrene insulation
 - All timber walls: Pink Batt R 3.2 wall insulation 140mm thick
 - HWC insulation wrap to all HWCs
- Office Acoustic Insulation:**
 - Interior timber framed walls to WC area: Pink Batts
 - Silencer full height of framing



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cad file	CPL0471.00 (e-rapa gateway) - 02 Construction.dwg
design	HK
drawn	JO
checked	
date	16/05/2018
job title	

TE RAPA GATEWAY WAREHOUSE & OFFICE DEVELOPMENT LOT 19 & 20
HAMILTON JV INDUSTRIAL PARK
dwg title

Floor Plan: Warehouse Lot 20
status
BUILDING CONSENT
scale
AS SHOWN @ A1
rev | dwg No
1 | A201



TE R A P A G A T E W A Y

520 & 560 Arthur Porter Drive – Outline Specification

Warehouse

- 9.0m under the portal knee.
- Warehouses will be divided by means of a 165mm thick Pre-cast walls, with fire rating of 240FRR. 165mm thick precast panels around lot 20 and the rear only of lot 19 to all full height Pre-cast panels. All other Pre-cast panels are 150mm thick.
- 2 No. drive through bays.
- Canopy slab 175mm thick, warehouse slab 175mm thick and the office slab 125mm thick (30MPa).

Office

- Exterior walls shall be a combined timber and precast concrete, integrated with aluminium framed windows and selected cladding system.
- Steel partitions or timber framing to all internal office walls, with 10mm Gib board linings and paint finish.
- Fibreglass batts to all internal walls excluding ground floor walls separating office and W/C which will have Pink Batt Silencers batts.

Roofing and Cladding

- 0.55mm coloursteel roofing fixed over building paper white sisalation and wire netting with flashings to match.
- Alsynite clearlite roof lights to approximately 10% of the Warehouse roof area.
- 0.40mm coloursteel vertical laid cladding fixed to girts to Warehouse external walls. Bottom of cladding fixed to galvanised folded plate fixed to concrete panel (through each trough).
- Calder Stewart Euro-tray wall cladding to front facade of offices over solid plywood.

Aluminium Joinery

- Powder coated commercial aluminium joinery to front façade of offices.
- 1 No. aluminium double doors for office as per drawing.
- Clear Double glazing to all external glazed areas.

Carpentry and Joinery

- Aluminium clad solid core external egress doors in matching frames with powder coat finish. (Egress front entrance doors 2650x2045 wide, rear entrance doors 2650x1100mm wide)
- Internal doors:
 - All interior doors 1980 x 810mm wide.
 - Hollow core interior doors with paint finish in timber reveals to Office to Warehouse prepared for electronic locking systems
 - All hardware commercial grade SCP finishes. Door closers to all exterior doors.

Kitchen - Proprietary kitchenette is provided. 2.4m long complete with stainless steel sink and bench top, cupboards, drawers and provision for dishwasher (whiteware by others).

Wall Finishes

- Warehouse - Walls unlined and unpainted. Steelwork factory prime paint finish.
- Office / Amenities Area - Gib lined, to a level 4 paint finish.
- Internal Decoration
 - Concrete – Strapped and lined with Gib board.
 - Gib Board – Two coat Resene decorating easy sand acrylic paint with the finish coat Resene Zylone acrylic low sheen finish.
 - Timber Doors - One coat Resene decorating easy sand acrylic paint with two finish coats Resene Lustacryl enamel paint finish.
 - Timber Trim - One coat Resene decorating easy sand acrylic paint with two finish coats Resene Lustacryl enamel paint finish.
- External Decoration
 - Steelwork – One coat primer, one undercoat and one finish coat high glow enamel.
 - Warehouse – Natural (unpainted) precast concrete panel walls with selected Colourcote metal cladding
 - Office Cladding – Selected Colorcote Eurotray on timber frame precast panels
 - Office PC panels have two coats of Resene Simi gloss graffiti shield

Ceilings

- Mineral fibre tile in 600 x 1200 exposed seismic grade suspended grid to open plan office.
- 13mm Gib board lining on suspended steel grid to toilets and stairs at 2.70m.

Bollards

- Fixed concrete filled steel bollards to inside and outside of all Warehouse roller/sliding doors (4 No. per door), size 150mm dia. x 1200mm high.

Electrical and Data

- Mains Supply - A 3 phase 100-amp underground supply from Power Authority main shall be provided to The Main Distribution Board (MOB) and Sub Distribution boards.
- Distribution Boards - Distribution Boards shall be provided to allow for sufficient capacity to supply to a normal office requirement. They shall have sheet metal cabinets complete with MCB's with metering facilities to local supply authority standards.
- Lighting - Office lighting shall be recessed Thorn flat panel LED 1200 x 600mm 5540 lumens. Warehouse to be fitted with Thorn HiPak LED high bay luminaire with Wide beam optic providing 19980 lumens. Recessed Thorn Cetus LED down lights will be provided to the toilets and common areas.
- Power - 2 No. Single phase double power points on a ratio of 1:10m² of rentable office area.
- Telephone/Data Reticulation – Cat 6 cabling throughout offices but not terminated.

Fire Protection

- Fire design completed by way of alternative verification method VM2, to eliminate the requirement for sprinklers.
- Fire alarm to NZS requirements.
- Emergency lighting to NZBC requirements.

Mechanical

- Split system with heat pumps fully ducted and zoned, incorporating outside air condensers with indoor handlers and evaporator.
- Indoor conditions at 22 degrees +/- 1.5 degrees. Humidity not exceed 60% RH in summer. These conditions subject to outside design conditions of 25 deg. DB and 21 deg. WB in summer and a 7 deg. DB for winter.
- 7 day, 24 hour time clock.
- Extracts to toilets and showers.

Sanitary and Plumbing

- Toilets with wash hand basins (as shown on plans).
- Toilet suites will be provided with paraplegic toilets in compliance with relevant codes.
- Toilet suites – Caroma profile 4 toilet suite and Caroma Care 100.
- Wash hand basin – Caroma Compact vitreous china wall basin
- Accessible toilet hand basin – Faun 450
- W.C. Pans – White vitreous china floor mounted
- W.C. Cisterns – Wall mounted concealed cistern with dual flush
- Vanity Basins – White vitreous china
- Hot water Cylinder – Rheems 180 litre mains pressure cylinder at a temperature set at 55 °C
- Taps - Taps and control valves – Marketti products.

Drainage

- Soak pits and storm water drains shall be installed and connected to mains
- External surface water drainage to both warehouses.

Water Mains

- 25mm water main and meter connected to Council supply to reticulate the building. Reticulation to sinks and hand basins through to the hot water cylinder.

Roller Shutter Doors

- 4 No 4.5m wide x 5.0m high powder coated motorised (3 Phase) roller shutter doors complete with wind lock guides.

Floor Coverings

- Office - Direct stick commercial grade carpet tile.
- Amenities - Amenity areas shall be finished with selected commercial grade vinyl.
- Main Entry - Coral Tread Entrance Mat.
- Stairs - Direct stuck commercial grade carpet tiles. Non slip anodized Treadsafe stair nosing's or equal approved.

Yard

- Lot 20 Car park - 35mm 10 AC Hotmix on 130 GAP 40 and 300 GAP 65 base course to carpark, manoeuvring and road areas. Carpark lines painted in NRB road paint.
- Yard and manoeuvring areas – 175mm thick 30mPa concrete

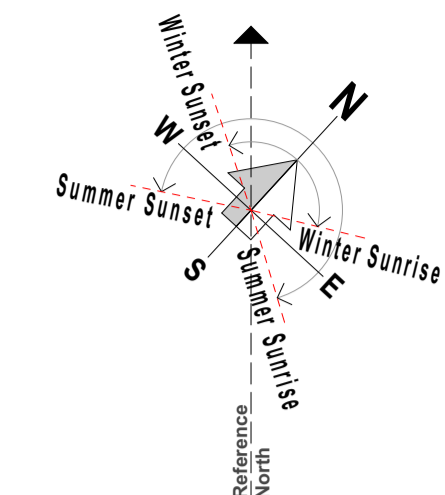


LEASING NOW
120 ARTHUR PORTER DRIVE
TE BAYA
DATE 1/1/17

warehouse: 1116m ²
offices: 232m ²
COMPLETION MARCH 2018

terrapintgroup.com
0800 GATEWAY

Hurcoult
For Lease



LOT 20 - 520 ARTHUR PORTER DRIVE

TOTAL SCHEDULE OF AREAS

SITE AREA	2,562m ²
WAREHOUSE	1,079m ²
OFFICE 2 storey	296m ²
CANOPY	141m ²
YARD	427m ²
PARKING	14

SITE COVERAGE

LOT 20		
SITE AREA:	2,562m ²	
PERMEABLE AREA:	686m ²	27%
(20% of entire site = 512m ²)		
BUILDING COVERAGE:	1,364m ²	48%

PARKING REQUIREMENTS

CPD PARKING REQUIREMENTS:

WAREHOUSE	1 per 150m ²
OFFICE	1 per 40m ²
ACCESSIBLE	1 for up to 20 carparks
CYCLE RACKS	1 per 10 staff

LOT 20

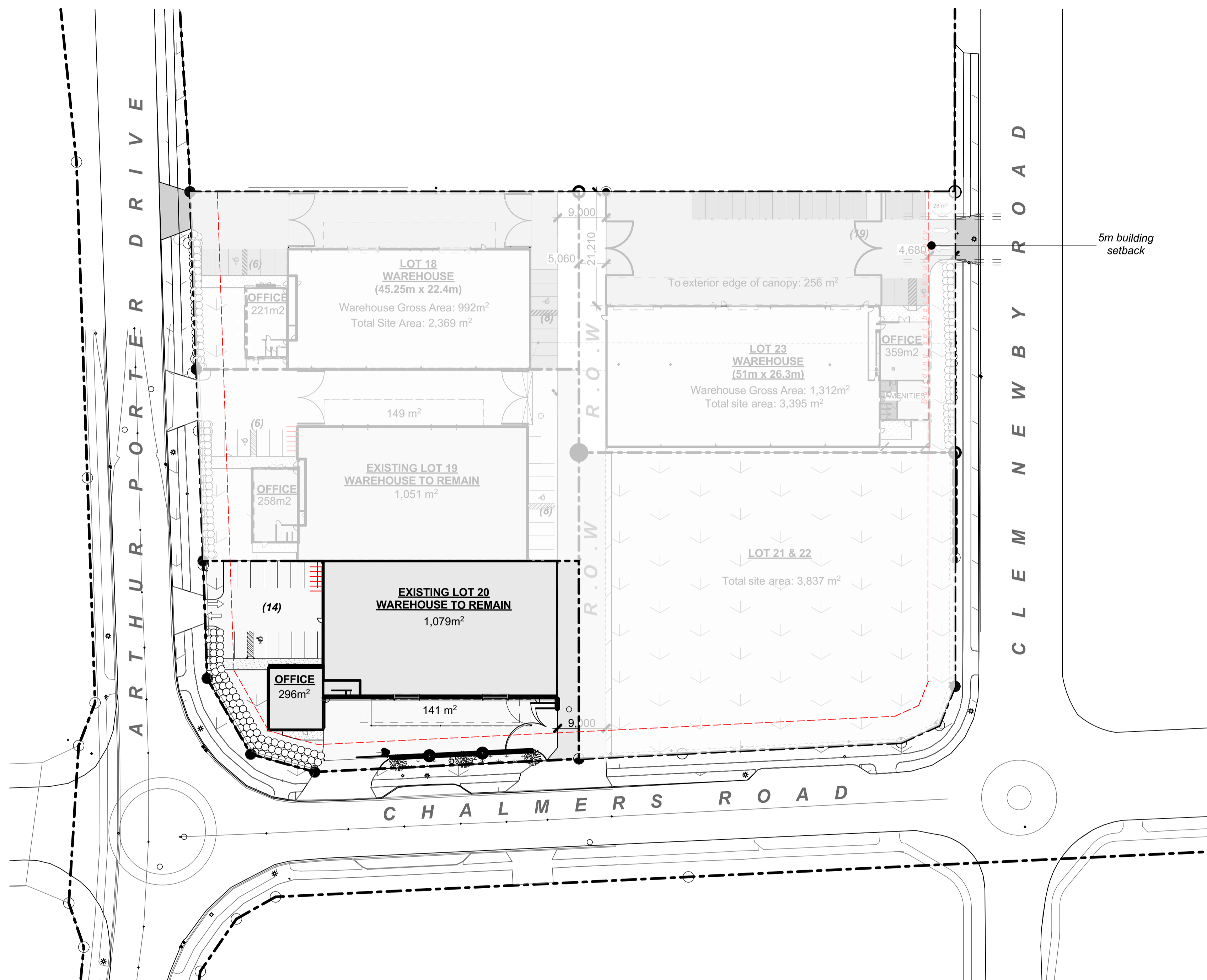
Warehouse	1,079m ²
Office	296m ²
Canopy	141m ²

TOTAL CARPARKS REQUIRED	14
TOTAL CARPARKS ACHIEVED	14

EXPOSURE ZONE	B
WIND ZONE:	High
EARTHQUAKE ZONE:	1

ARTHUR PORTER DRIVE
NORTHGATE
HAMILTON 3200

LOTS 19 & 20
DP 502753



1 Site
#LayID Scale 1:500

rev	date	details

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cad file	CPL0471.10 Te Rapa Lot 20 Marketing Pack.plt
design	HK
drawn	JO
checked	
date	5/12/2023

TE RAPA GATEWAY
WAREHOUSE &
OFFICE
DEVELOPMENT
LOT 20

520 ARTHUR PORTER
DRIVE

dwg title
Site Plan

status

scale
AS SHOWN @ A1

rev	dwg No
	A101